

December 19, 2025

Catalyst Design Group
5100 Tennessee Ave
Nashville, TN 37209

RE: Agent Authorization

To Whom It May Concern:

Be advised that I am the Chief Executive Officer of the Portsmouth Regional Hospital located at 333 Borthwick Ave, Portsmouth, NH 03801. I am an authorized agent to the owners of HCA Health Services of New Hampshire, Inc. dba Portsmouth Regional Hospital. As the authorized agent, I hereby authorize and empower:

Catalyst Design Group to act as agent/ representative to communicate and submit required information as necessary in obtaining site-related approvals and permits for the proposed Ambulance Bay and Canopy project located at 333 Borthwick Ave, Portsmouth, NH 03801.



Sean Patterson



December 26, 2025

Attn: Peter Britz
City of Portsmouth Conservation Commission
1 Junkins Ave, 3rd Floor
Portsmouth, NH 03801

TRANSMITTAL

Project Name: Portsmouth Regional Hospital Ambulance - Bay and Canopy

Project No.: 20250276

We are sending the following:

<input checked="" type="checkbox"/> Letter	<input checked="" type="checkbox"/> Drawings	<input type="checkbox"/> Contract
<input type="checkbox"/> Change Order	<input type="checkbox"/> Computer Disk	<input type="checkbox"/> Specifications
<input type="checkbox"/> Other		

Via:

<input checked="" type="checkbox"/> Mail	<input type="checkbox"/> Courier	<input type="checkbox"/> Overnight
--	----------------------------------	------------------------------------

Purpose:

<input type="checkbox"/> Approval	<input type="checkbox"/> Your Use	<input type="checkbox"/> Your Records
<input checked="" type="checkbox"/> Review & Comment	<input checked="" type="checkbox"/> As Requested	<input type="checkbox"/> Bids Due

DESCRIPTION	SETS
Project Narrative	1
Wetland Delineation Report by Grove Environmental Services, Inc.	1
Full Size (22X34) Drawing Set	1
Signed Application Checklist	1
Signed Authorization Letter	1
City GIS Parcel Summary	1

Remarks: This hard copy set goes along with the electronic submittal.

Chris Akers

615.476.4764

December 19, 2025

Catalyst Design Group
5100 Tennessee Ave
Nashville, TN 37209

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Sean Patterson



City of Portsmouth, New Hampshire

Wetland Conditional Use Permit Application Checklist

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

Applicant Responsibilities: Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

HCA Health Services of New Hampshire,

Name of Applicant: Inc. dba Portsmouth Regional Hospital Date Submitted: _____

Application # (in City's online permitting): _____

Site Address: _____ Map: _____ Lot: _____

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	Complete application form submitted via the City's web-based permitting program	
<input type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital Portable Document Format (PDF) . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Basic property and wetland resource information. (10.1017.21)	
<input type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. (10.1017.22)	
<input type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). (10.1017.23)	
<input type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. (10.1017.24)	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Wetland buffer enhancement plan. (10.1017.25)	
<input type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. (10.1017.26)	
<input type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: 1. <i>New Hampshire Stormwater Manual, NHDES, current version.</i> 2. <i>Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> (10.1018.10)	
<input type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. (10.1018.22)	
<input type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. (10.1018.23/10.1018.24/10.1018.25)	
<input type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. (10.1018.31)	
<input type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. (10.1018.32)	
<input type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. (10.1018.40)	
<input checked="" type="checkbox"/>	Requested Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the WCUP instruction page for further application instructions.	
<input type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	



Applicant's Signature: _____ Date: _____



December 26, 2025

City of Portsmouth Conservation Commission

**Re: Portsmouth Regional Hospital – Ambulance Bay and Canopy
Project Narrative
Portsmouth, NH**

The existing Portsmouth Regional Hospital is located at 333 Borthwick Ave, Portsmouth, NH 03801 (Map 240, Lot 2-1). The medical campus is located on the east side of Blue Star Turnpike (I-95), the west side of Borthwick Avenue, and can be accessed via multiple entrances from Borthwick Avenue.

The scope of the proposed **Ambulance Bay and Canopy** project consists of an ambulance garage door replacement and the addition of a widened concrete sidewalk with a new overhead canopy for patients to be transported from ambulances (when backed up under the new canopy) to an existing hospital door ... all located on the southeast corner of the existing hospital building.

No new building area is proposed with this project. The proposed sitework is anticipated to consist of minimal asphalt, concrete sidewalk, utility, and landscape removal and replacement, along with the installation of a new overhead canopy with structural foundations and columns to support the new canopy.

A portion of the proposed project scope is located an existing 100-ft wetland buffer that is offset from the existing wetlands located on the outside of the existing rear hospital loop drive. No work is proposed within the wetlands, and only +/- 730 SF of area is proposed to be disturbed within the wetland buffer. Only +/- 240 SF of additional impervious area (due to widening an existing sidewalk) is proposed with the project scope.

Please note, the overall wetland data has been calculated with older design drawings by others. Only the wetland adjacent to the proposed project was previously delineated and flagged by Gove Environmental Services, Inc., and surveyed by James Verra and Associates, Inc. Refer to attached previous letter and site survey. The wetland flagging will be updated on site by Gove Environmental Services, Inc. for this proposed project.

Wetlands and 100-foot buffer, Overall Site

- Subject Parcel: Map 240, Lot2-1 (± 20.87 ac)
- Total wetland area onsite: approximately ± 2.7 acres
- Total area of 100-foot wetland buffer onsite: approximately ± 8.4 acres

Wetland and 100-foot buffer, Proposed Project Impact

- Area of inland wetland to be disturbed:
 - Permanent: 0 SF
 - Temporary: 0 SF
 - Total disturbance: 0 SF

- Area of 100-ft wetland buffer to be disturbed:
 - Permanent: ±240 sf (concrete sidewalk widening)
 - Temporary: ±730 sf (construction of widened concrete sidewalk, installation of wider ambulance roll-up door, and installation of new overhead canopy)

Views of existing project area conditions:



Existing ambulance garage roll-up doors. Left garage door to be replaced with wider door to match door to the right:



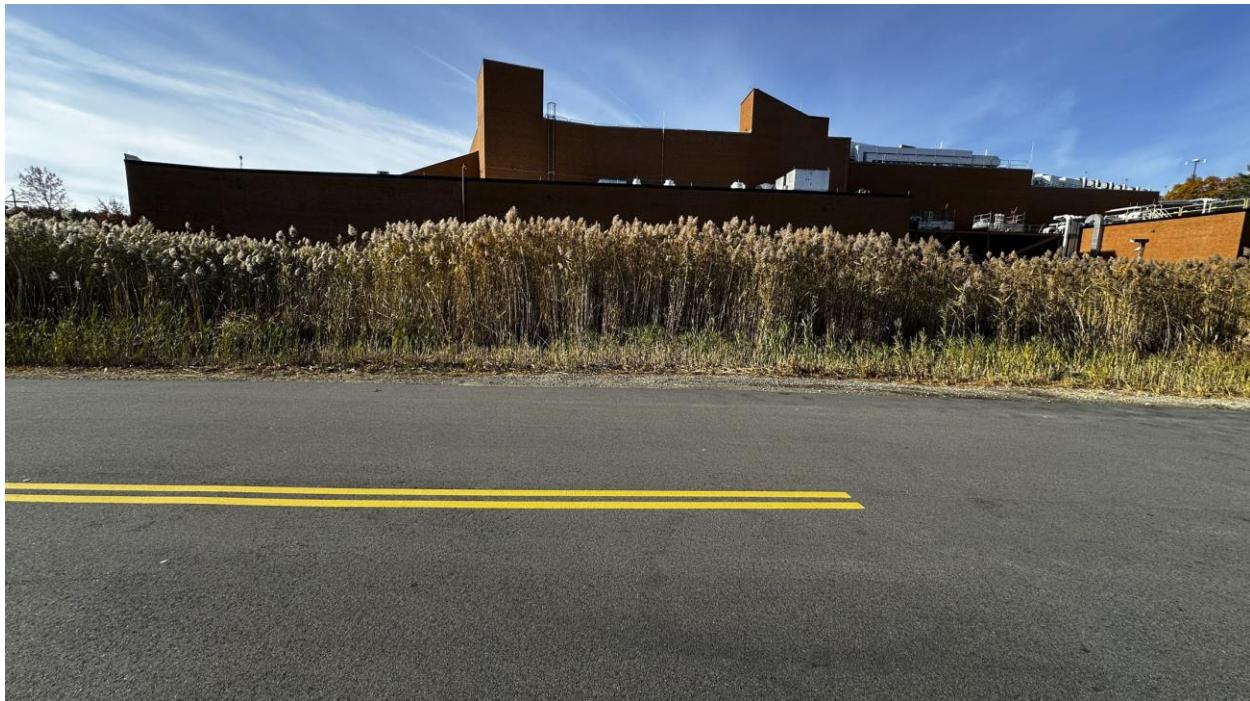
Existing sidewalk to be widened and a new overhead canopy to be installed:



Existing sidewalk to be widened and a new overhead canopy to be installed:



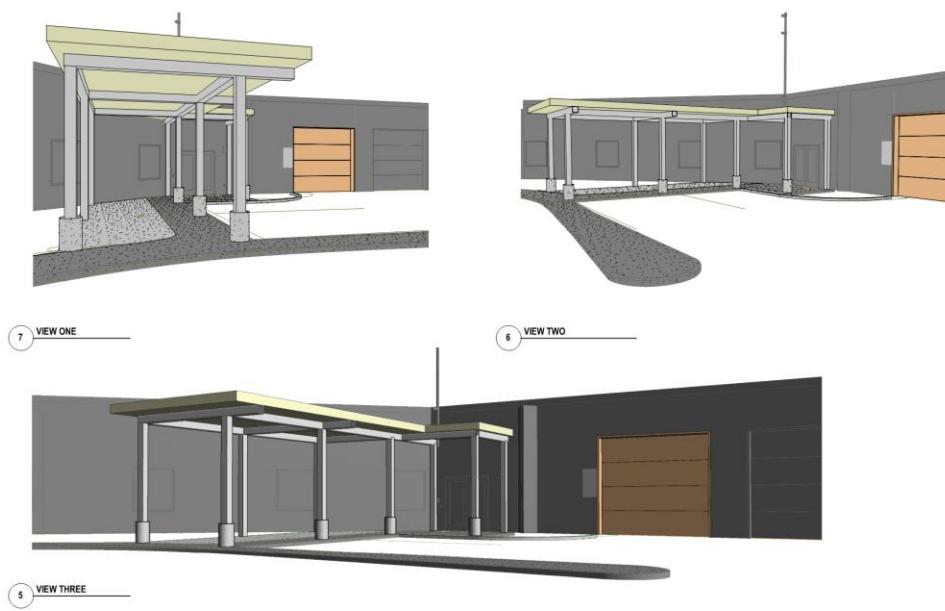
Existing wetlands located along the outside of the rear hospital loop drive (+/-75' from proposed project area):

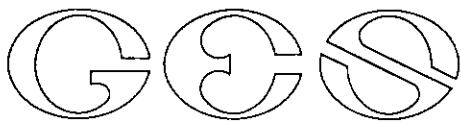


Existing wetlands located along the outside of the rear hospital loop drive (+/- 75 from proposed project area):



Views of proposed wider garage roll-up door, overhead canopy, and widened sidewalk:





GOVE ENVIRONMENTAL SERVICES, INC.

October 15, 2019

Portsmouth Regional Hospital

Subject: Wetland Delineation Report
Portsmouth Regional Hospital
333 Borthwick Ave, Portsmouth, NH

Dear Chris Akers,

Per your request, this letter is to verify that Gove Environmental Services, Inc., performed a site inspection to identify wetlands at Portsmouth Regional Hospital, 333 Borthwick Ave, Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Technical Report ERDC/EL TR-12-1 (January 2012).
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, April 2019*, New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List, 2018*.
4. *Classification of Wetlands and Deepwater Habitats of the United States*. USFWS Manual FWS/OBS-79/31 (1979).

Brenden Walden performed the site inspection on 9/17/19. During the site inspection, two areas of wetland were identified on the Site. The wetland areas were demarcated with a series of pink “Wetland Delineation” flagging consecutively labeled:

1 Start – 15 Stop & A1-A22

The attached sketch plan depicts the general location of the flag series, which were used to identify the resource areas in the field. A general description of the wetlands is also provided

The wetland demarcated by the **1 Start – 15 Stop** series of flags, delineated a drainage area dominated by emergent vegetation, hydric soils on the wetland border consisted of NE-S1 & HTM-S hydric soil classifications, soil saturation and water staining were also observed. Bordering upland area consisted developed area and impervious surface.

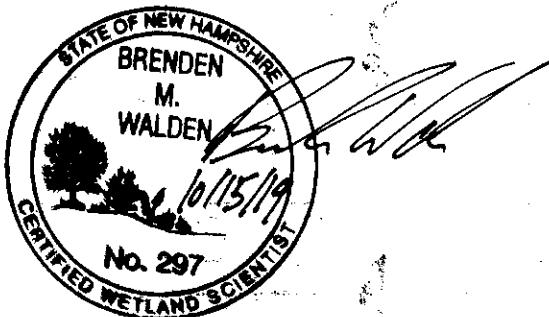
The wetland demarcated by the **A1-A22** series of flags, delineated the wetland boundary for a detention basin vegetated with emergent vegetation. The wetland boundary consisted of NE-S with areas of HTM-S. Bordering upland areas consist of maintained lawn areas and impervious surface from surrounding development.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden
Business Manager & Wetland Scientist
Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch



8 Continental Dr Unit H, Exeter, NH 03833-7507

Ph (603) 778 0644 / Fax (603) 778 0654

www.gesinc.biz

info@gesinc.biz



Details

Property

Location 333 BORTHWICK AVE
Map-Lot 0240-0002-0001
Vision Account Number 35555

Ownership

Owner HCA HEALTH SVC OF NH INC D/B/A
PRH 32902 C/O DUCHARME
MCMILLEN & ASSOCIATES
Address PO BOX 80610, INDIANAPOLIS, IN
46280

Valuation

Total \$107,470,000
Last Sale \$0 on
Book/Page 2784/1340

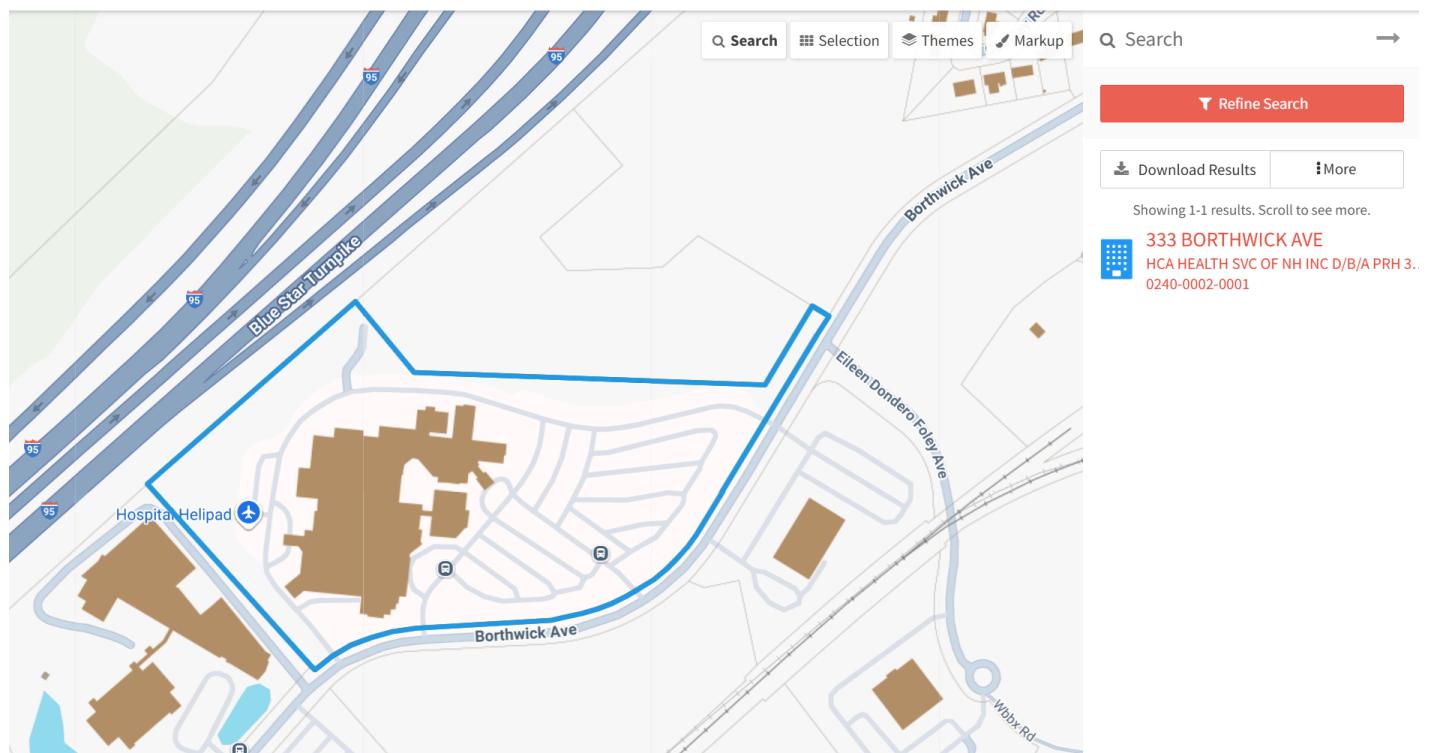
Land

Parcel Area (AC) 20.87

Zoning

Zoning

OR



SITE DATA

LOT NUMBER: 0240-0002-0001
TAX MAP: 240
SITE ADDRESS: 333 BORTHWICK AVE
PORTSMOUTH, NH 03801
SITE ACREAGE: 20.87 AC. (909,097 SF)
DISTURBED AREA: 0.01 AC. (.764 SF)
DISTURBED AREA IN WETLAND BUFFER: ±730 SF

EXISTING ZONING: OR
PROPOSED USE: HOSPITAL
EXISTING BUILDING HEIGHT: ± 65'-4"
ALLOWED MAX. BUILDING HEIGHT: 60'
PROPOSED BUILDING ADDITION: 0'
HOSPITAL BEDS: EXISTING: 233
HOSPITAL / MOB FOOTPRINT: EXISTING: ±182,616 SF
HOSPITAL GROSS FLOOR AREA: EXISTING: ±436,365 SF
ATTACHED MOB GROSS FLOOR AREA: EXISTING: ± 46,665 SF

PROPOSED ADDITION: 0 SF
PROPOSED ADDITION: 0 SF
PROPOSED ADDITION: 0 SF
PROPOSED ADDITION: 0 SF

IMPERVIOUS SURFACE AREA

EXISTING IMPERVIOUS AREA: 319,970 SF
PARKING & DRIVEWAYS: 19,506 SF
OTHER IMPERVIOUS AREA: 339,476 SF

PROPOSED IMPERVIOUS AREA ADDED: 240 SF
TOTAL RESULTING IMPERVIOUS AREA: 339,716 SF

SETBACKS

PRINCIPAL FRONT YARD: REQUIRED: 50 FT PROVIDED: 83 FT
REAR YARD: REQUIRED: 50 FT PROVIDED: 157 FT
RIGHT SIDE YARD: REQUIRED: 75 FT PROVIDED: 388 FT
LEFT SIDE YARD: REQUIRED: 75 FT PROVIDED: 83 FT

MIN. OPEN SPACE ON A LOT

REQUIRED: 30%
PROPOSED: ±39.0%

MAX. FLOOR-AREA-RATIO (FAR)

REQUIRED: 30%
PROPOSED: ±20.1%

PARKING SUMMARY

EXISTING PARKING PROVIDED: ±1,277 SPACES

OWNER: PORTSMOUTH REGIONAL HOSPITAL
ADDRESS: 333 BORTHWICK AVE
PORTSMOUTH, NH 03801

PHONE NO.: 603-436-5110
CONTACT NAME: JAKE ENCE, VICE PRESIDENT OF OPERATIONS
CONTACT E-MAIL ADDRESS: jacob.ence@catalyst-healthcare.com

PROJECT REPRESENTATIVE:
ADDRESS: CATALYST DESIGN GROUP
5100 TENNESSEE AVENUE
NASHVILLE, TN 37221
PHONE NO.: 615-622-7200
CONTACT NAME: CHRIS AKERS, PROJECT MANAGER
CONTACT E-MAIL ADDRESS: cakers@catalyst-dg.com

RECORDED DOCUMENTS: DEED BOOK 2784 PAGE 1340

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO
COMMUNITY PANEL NO. 33015C0260F, JANUARY 29, 2021, COMMUNITY NAME: CITY OF PORTSMOUTH.

ABUTTERS:

ADDRESS: 255 BORTHWICK AVE
PORTSMOUTH, NH 03801
LOT NUMBER: 0240-0001-0000
TAX MAP: 240
OWNER: LIBERTY MUTUAL INSURANCE CO

ADDRESS: BORTHWICK AVE
PORTSMOUTH, NH 03801
LOT NUMBER: 0240-0002-2001
TAX MAP: 240
OWNER: CITY OF PORTSMOUTH DPW

ADDRESS: 330 BORTHWICK AVE
PORTSMOUTH, NH 03801
LOT NUMBER: 0240-0002-2200
TAX MAP: 240
OWNER: 330 PORTSMOUTH LLC

ADDRESS: BORTHWICK AVE
PORTSMOUTH, NH 03801
LOT NUMBER: 0240-0002-1001
TAX MAP: 240
OWNER: CITY OF PORTSMOUTH DPW

RESOURCE LIST

NATURAL GAS:
NORTHERN UTILITIES, INC
JEFF INGLISH
325 WEST ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 436-0310

ELECTRIC:
PUBLIC SERVICES OF NH/ EVERSOURCE
WAYNE BROOKS
1700 LAFAYETTE ROAD
PORTSMOUTH, NH 03801
PHONE: (800) 662-7764

TELEPHONE/ CABLE:
CONSOLIDATED COMMUNICATIONS
1575 GREENLOAD ROAD
GREENLAND, NH 03840
PHONE: (800) 240-5019

WATER/ SANITARY SEWER:
PORTSMOUTH DEPT OF PUBLIC WORKS
MIKE JENKINS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
PHONE: (603) 427-1530

CONSTRUCTION DOCUMENTS

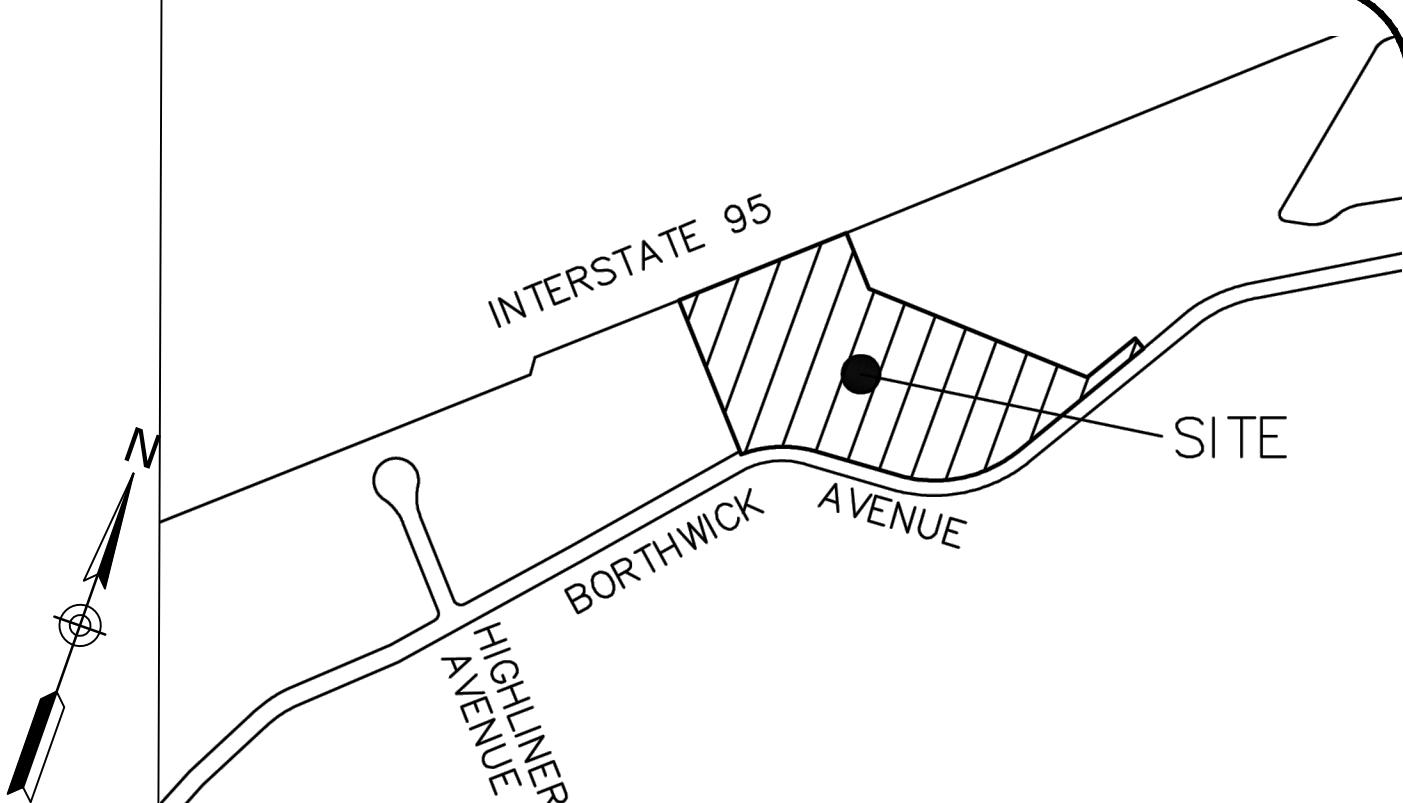
PORTSMOUTH REGIONAL HOSPITAL

AMBULANCE BAY & CANOPY

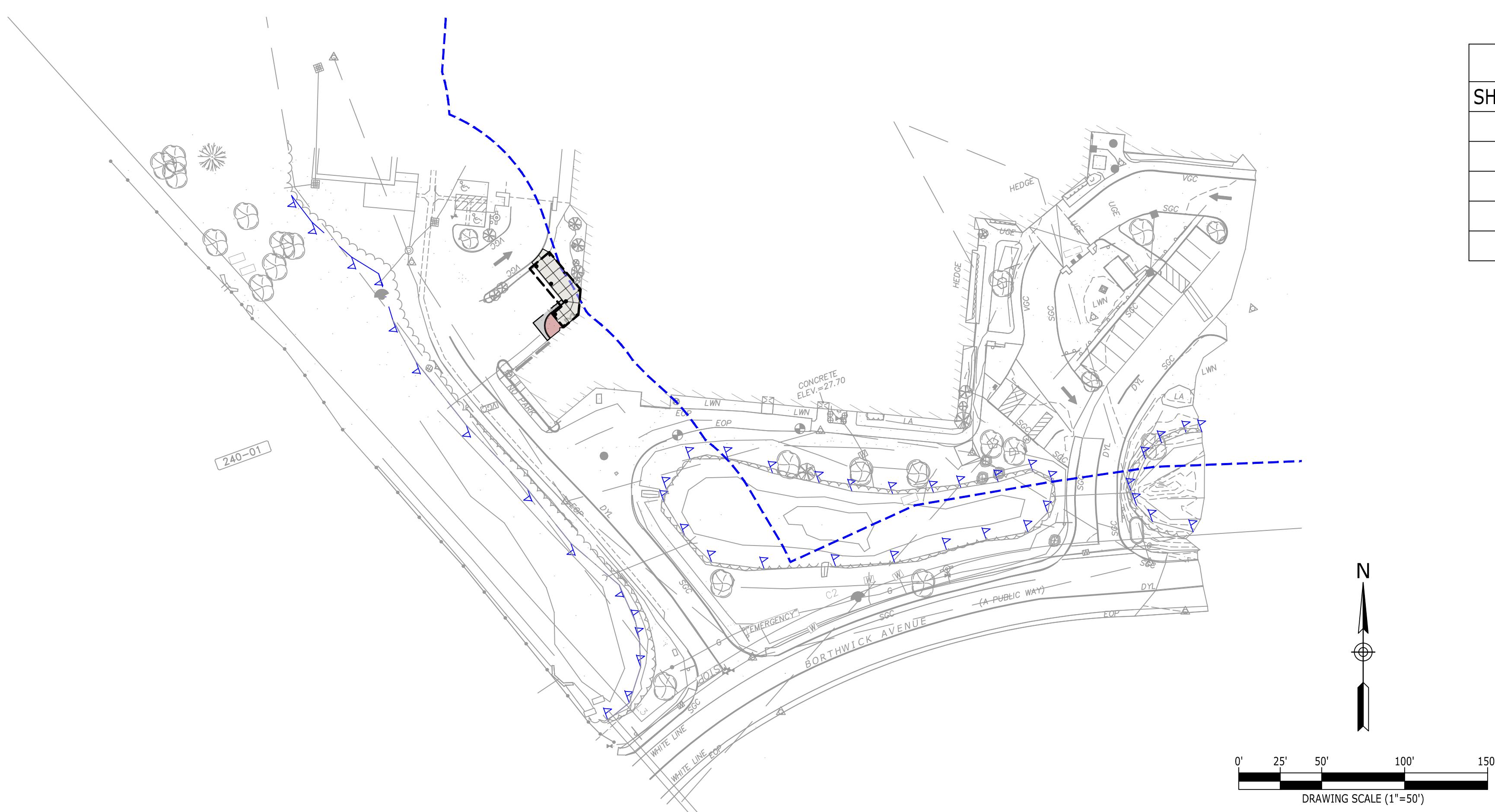
PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE

CATALYST PROJECT NO. 20250276

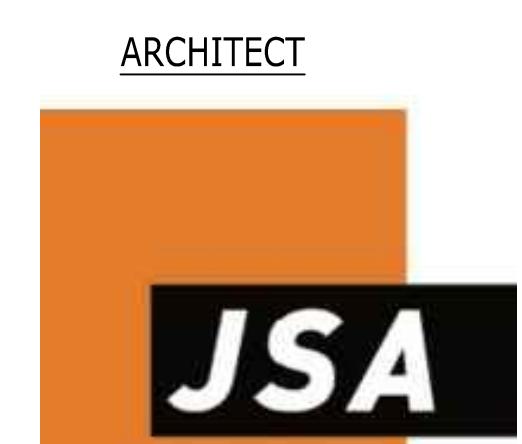
12/26/2025



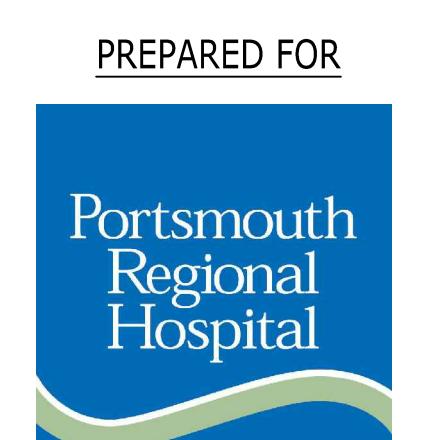
VICINITY MAP
NOT TO SCALE



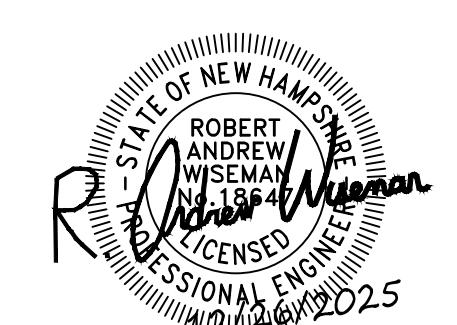
SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	GENERAL NOTES
C3.0	DEMO, LAYOUT, GRADING & UTILITY PLAN
C4.0	SITE DETAILS



273 CORPORATE DR STE 100
PORTSMOUTH, NH 03801
603-436-2551



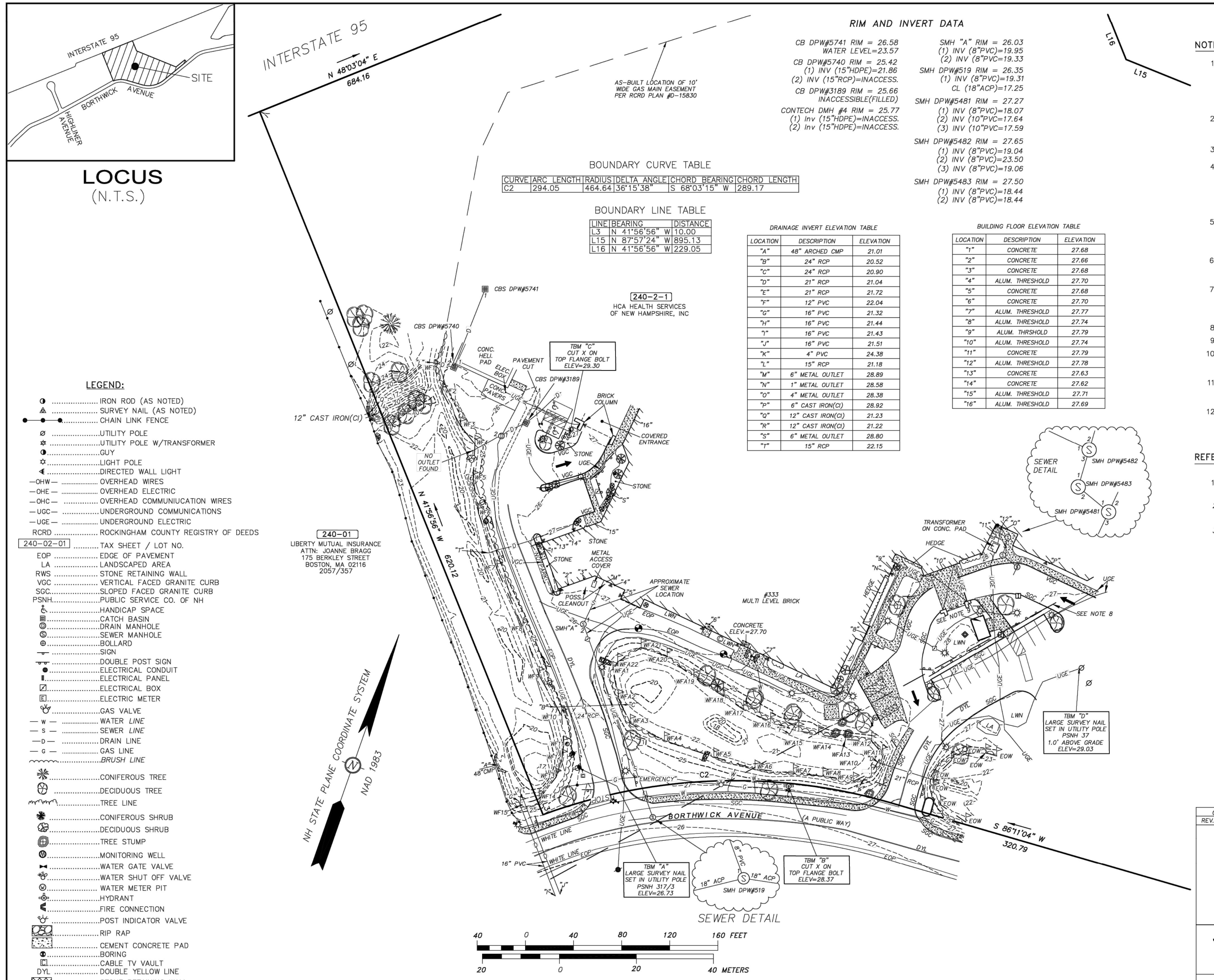
333 BORTHWICK AVE
PORTSMOUTH, NH 03801
603-436-5110



5100 TENNESSEE AVENUE, NASHVILLE, TN 37209
(615) 622-7200 | WWW.CATALYST-DG.COM

COVER SHEET

C0.0



ES:

OWNER OF RECORD.....HCA HEALTH SERVICES OF NH., D/B/A PRH 32902
C/O DUCHARME MCMILLEN & ASSOCIATES
ADDRESS.....PO BOX 80610, INDIANAPOLIS, IN 46280
DEED REFERENCE.....2784/1340
TAX SHEET / LOT.....240-02-01
PARCEL AREA.....846,664 S.F 19.44 ACRES

ZONED:OFFICE/RESEARCH (OR) FRONT YARD SETBACK50'
MINIMUM LOT AREA..3 ACRES SIDE YARD SETBACK.....75'
FRONTAGE300' REAR YARD SETBACK.....50'

THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.

HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ALBA"

ENGINEER OR CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..

THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0260E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LIMIT OF 300' EVERSOURCE ELECTRIC EASEMENT.

BRICK GENERATOR ENCLOSURE. TOP OF CONCRETE ELEV.=27.20

THE DELINEATION OF THE WETLANDS SHOWN HEREON WAS BY BRENDEN WALDEN NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST #297, GOVE ENVIRONMENTAL SERVICES, LLC., 8 CONTINENTAL DRIVE, UNIT H, EXETER, NH 03833.

THE SUBSURFACE UTILITIES SHOWN HEREON WERE IDENTIFIED BY WADE HANSEN, GROUND PENETRATING RADAR SYSTEMS, INC., 5217 MONROE STREET, SUITE A, TOLEDO, OHIO 43623.

AN EXISTING UTILIT GAS LINE SOUTHWESTERLY OF THE HOSIPTAL IN THE VICINITY OF THE LIBERTY MUTUAL PARCEL & A 6" CLDI WATER LINE IN THE SAME AREA WERE NOT FIELD LOCATED BY GROUND PENETRATING RADAR SYSTEMS, INC.

REFERENCE PLANS:

1. GAS LINE AS-BUILT EASEMENT AND CONSERVATION PLAN, PREPARED FOR HOSPITAL CORPROATION OF AMERICA, PORTSMOUTH, NH, DATED 10/31/85. RCRD PLAN #D-15830.
2. SCHILLER S/S-OCEAN ROAD S/S, 115 KV TRANSMISSION LINE #U181, MILE 4, PLANR-6775-A, DATED 7/10/2009, BY NORTHEAST UTILITIES, NOT RECORDED.
3. SUBDIVISION OF LAND, FRANETAL REALTY TRUST COMPAMY, OPTIONED TO LIBERTY MUTUAL INSURANCE COMPANY, PORTSMOUTH, NEW HAMPSHIRE, REVISED TO 2/19/71 RCRD PLAN #2190.

PURSUANT TO RSA 676:18.III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

 11-19-2019
JAMES VERRA DATE

0 NO.	11-08-2019 DATE	FOR REVIEW & COMMENT DESCRIPTION	JV APPR'D
<p><i>LIMITED EXISTING CONDITIONS PLAN</i> <i>333 BORTHWICK AVENUE</i> <i>PORTSMOUTH, NEW HAMPSHIRE</i> <i>ASSESSOR'S PARCEL #240-002-001</i></p> <p><i>for</i></p> <p><i>HCA HEALTH SERVICES OF NEW HAMPSHIRE</i></p>			
<p>JAMES VERRA and ASSOCIATES, INC.</p> <p>101 SHATTUCK WAY SUITE 8 NEWINGTON, N.H., 03801-7876 603-436-3557</p>		<p>DATE: 11-19-2019</p> <p>JOB NO: 23834</p> <p>SCALE: 1" = 40'</p> <p>DWG NAME: 23834</p> <p>PLAN NO: 23834</p> <p>SHEET: 1 of 1</p>	
<p>GTD</p> <p>PROJECT JV</p> <p>COPYRIGHT © 2019 by JAMES VERRA and ASSOCIATES, INC.</p>		<p>GTD</p> <p>DRAWN BY</p>	

DRAWING TITLE

EXISTING CONDITIONS

C1.0

PROJECT NOTES

- SUBJECT PROPERTY SHOWN ON TAX MAP 240, AS PARCEL 0240-0002-0001 OF THE ROCKINGHAM COUNTY, NEW HAMPSHIRE, TAX MAPS.
- SITE EXISTING CONDITIONS ARE TAKEN FROM SURVEY BY JAMES VERRA & ASSOCIATES, INC. DATED NOVEMBER 8, 2019. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF OR OMISSIONS FROM THE EXISTING CONDITIONS OR ERRORS RESULTING THEREFROM.
- CATALYST DESIGN GROUP RECOMMENDS THAT CONSTRUCTION STAKING SERVICES BE PROVIDED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.
- THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO CONSTRUCTION AND INFORM THE ENGINEER OF ANY INCONSISTENCIES BETWEEN OBSERVED SITE CONDITIONS AND THE SURVEY OR EXISTING CONDITIONS PLAN.
- DIMENSIONS PROVIDED ON THE PLAN ARE TAKEN TO THE FACE OF CURBS, EDGE OF CONCRETE OR EDGE OF BUILDING, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS PRIOR TO INITIATING CONSTRUCTION AND SHALL ADHERE TO PERMIT REQUIREMENTS AS WORK PROCEEDS.
- SITE CONTROL SHALL BE BASED OFF THE REFERENCE POINT(S) AND SURVEY DATUM PROVIDED. SEE THE ARCHITECTURAL PLANS FOR LAYOUT CONTROL OF BUILDING ADDITIONS.
- THE CONTRACTOR SHALL SUBMIT A REQUEST FOR UTILITY LOCATION (811) AND HAVE THE UTILITIES MARKED BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE FAMILIAR WITH UTILITY LOCATIONS, PROTECT UTILITIES WHICH REMAIN IN SERVICE, AND REPAIR ANY DAMAGE TO UTILITY SYSTEMS FOR THE UTILITY PROVIDER REQUIREMENTS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC ROADWAYS, CURBS AND SIDEWALKS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCIES AT THE CONTRACTOR'S EXPENSE.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- PRIVATE ASPHALT PAVEMENT SECTIONS AND MATERIALS SHALL BE PER STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND GEOTECHNICAL REPORT RECOMMENDATIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS AND PRECAUTIONS.
- UNLESS OTHERWISE NOTED, SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS FOR REVIEW. DESIGN DRAWINGS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH LOCAL/STATE SPECIFICATIONS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE DEVIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND MAINTAINING AS-BUILT INFORMATION AS CONSTRUCTION PROGRESSES AND/OR AT THE COMPLETION OF APPLICABLE SCOPES OF WORK. PROVIDE AS-BUILT DATA IN A USEABLE FORMAT TO THE OWNER AND ENGINEER FOR THEIR RECORDS AND FOR SUBMITTAL TO GOVERNING AUTHORITIES, WHERE REQUIRED, ESTABLISH AND CONFIRM APPLICABLE AS-BUILT REQUIREMENTS FOR ALL SCOPES ITEMS PRIOR TO CONSTRUCTION BASED ON OWNER'S REQUIREMENTS, JURISDICTIONAL STANDARDS, AND THE PROJECT SPECIFICATIONS. AS-BUILT DATA SHALL BE COLLECTED BY A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW HAMPSHIRE, WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.
- ALL JURISDICTIONAL SPECIFICATIONS, DOCUMENTS, AND DETAILS REFERENCED SHALL BE THE LATEST REVISION IN EFFECT AT THE TIME OF PERMIT APPROVAL.
- CONTRACTOR SHALL REPAIR ALL OFF-SITE CONSTRUCTION OR STAGING AREAS TO EQUAL AND/OR BETTER CONDITION THAN AT THE START OF CONSTRUCTION.

DEMOLITION NOTES

- THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE IF DAMAGED. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROTECT PROPERTY BOUNDARY PINS AND SURVEY CONTROL POINTS FROM DAMAGE.
- THE CONTRACTOR SHALL COMPLY WITH EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS AND INSTALL NECESSARY EPSC MEASURES AND CONSTRUCTION ENTRANCE/EXIT PRIOR TO DISTURBING EXISTING VEGETATION. THE CONTRACTOR SHALL USE WATER SPRINKLING OR OTHER MEASURES TO CONTROL DUST AND OTHER AIRBORNE DEBRIS RESULTING FROM DEMOLITION.
- TREE PROTECTION MEASURES SPECIFIED IN THESE PLANS SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION AND TREE REMOVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR MAY BE REQUIRED TO PHASE DEMOLITION TO MAINTAIN EXISTING UTILITY SERVICES, PROPER DRAINAGE, OR ACCESS TO THE SITE OR ADJOINING SITES. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTION OF EXISTING ACTIVE UTILITIES AND TRAFFIC PATTERNS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A DEMOLITION PHASING SCHEDULE WHERE REQUIRED.
- WHERE ACTIVE UTILITIES OR STORM SEWERS ARE PROPOSED FOR RELOCATION, THESE FEATURES SHOULD NOT BE DEMOLISHED UNTIL NEW OR RELOCATED LINES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
- THE CONTRACTOR SHALL INCLUDE IN THEIR COST ANY ISOLATION VALVES OR TEMPORARY MEASURES REQUIRED TO ACCOMPLISH RELOCATIONS AND DEMOLITION OF UTILITIES.
- PAVEMENTS, SIDEWALKS, CURBS, AND OTHER HARD SURFACES SHALL BE EVENLY SAW CUT AT THE LIMITS OF REMOVAL TO PROVIDE A CLEAN EDGE. COORDINATE LIMITS OF REMOVAL WITH PROPOSED CONSTRUCTION INCLUDING GRADING, UTILITY INSTALLATION, PROPOSED LAYOUT, ETC.
- EXISTING SITE FEATURES NOTED AS BEING ABANDONED MAY BE ABANDONED IN PLACE IF THE ITEMS ARE LOCATED MORE THAN 24" BELOW FINAL SUBGRADES (TOP OF PIPE OR OTHER FEATURE) AND NOT LOCATED WITHIN PROPOSED BUILDING FOOTPRINTS OR BELOW PROPOSED RETAINING WALLS. ENDS OF ABANDONED PIPES SHALL BE SEALED WITH CONCRETE.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S COST UNLESS NOTED TO BE PROVIDED TO THE OWNER.
- CAVITIES LEFT BY DEMOLITION SHALL BE PROPERLY BACKFILLED AND COMPAKED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- WHERE EXISTING IRRIGATION LINES ARE LOCATED WITHIN THE AREA OF CONSTRUCTION, THEY SHALL BE PROTECTED OR RE-Routed AND CONNECTED TO MAINTAIN OPERATION IN LANDSCAPE AREAS WHICH REMAIN DURING CONSTRUCTION. COORDINATE TEMPORARY MEASURES WITH DESIGN OF NEW SYSTEM AND REMOVE TEMPORARY MEASURES WHEN NO LONGER NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR ALL ON-SITE AND OFF-SITE Dewatering OPERATIONS AND SHALL OBTAIN PERMITS THROUGH THE NECESSARY LOCAL AND STATE AGENCIES AS NEEDED.
- IF AN EXISTING WELL IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INFORM THE ENGINEER AND ABANDON/REMOVE ANY EXISTING WELLS PER LOCAL/STATE STANDARDS.

ADA ACCESSIBILITY NOTES

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY ARE TO BE CONSTRUCTED PER LOCAL AUTHORITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. WHERE THERE ARE NO LOCAL STANDARDS, THE CONTRACTOR SHALL CONSTRUCT CURB RAMPS COMPLYING WITH THE CURRENT VERSION OF THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), PUBLISHED BY THE UNITED STATES ACCESS BOARD.
- PRIVATE CURB RAMPS ON THE SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA) AND/OR FAIR HOUSING ACT (FHA) STANDARDS, WHERE APPLICABLE.
- BEFORE PLACING PAVEMENT OR SIDEWALKS, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND/OR FHA) EXIST TO AND FROM ACCESSIBLE DOORS, ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. MAXIMUM GRADIENTS WITHIN ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE 2% IN ANY DIRECTION. WITHIN ACCESSIBLE PATHS, MAXIMUM SLOPES FOR SIDEWALKS SHALL BE LONGITUDINALLY MAXIMUM 5% AND FOR RAMPS SHALL BE LONGITUDINALLY MAXIMUM 8.33% (1:12). CROSS SLOPES SHALL BE MAXIMUM 2%. TURNING SPACES (5'x5' MIN.) SHALL BE MAXIMUM 2% SLOPE IN ANY DIRECTION.
- CURB RAMPS SHALL HAVE A LANDING AT THE TOP MATCHING THE WIDTH OF THE RAMP AND A MINIMUM DEPTH OF 48". RAMPS SHALL HAVE A 5' X 5' LANDING AT THE TOP AND BOTTOM OF THE RAMPS. ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL BUILDING CODE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- THE CONTRACTOR SHALL FIELD VERIFY SLOPE MEASUREMENTS ON FINISHED GRADE, SUBGRADE, AND FOWKWORK PRIOR TO PLACING PAVEMENT TO VERIFY CONFORMANCE TO ADA SLOPES. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES. WHEN REQUESTED BY THE OWNER, THE ENGINEER WILL MEASURE FINISHED SLOPES IN ACCESSIBLE SPACES AND ALONG ACCESSIBLE ROUTES USING A 2' DIGITAL SLOPE LEVEL.
- WHERE CONSTRUCTION IS TAKING PLACE WITHIN AN EXISTING DEVELOPMENT OR FACILITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AN ACCESSIBLE PATH PER ADA AND/OR FHA STANDARDS THROUGHOUT THE CONSTRUCTION PROCESS AS NEEDED.

TREE PROTECTION NOTES

- INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS IN ACCORDANCE WITH THE DETAILS AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL STATE THE LIMITS OF CONSTRUCTION TO ENSURE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.
- TREE PROTECTION MEASURES SHALL CONSIST OF 48" TALL CHAIN LINK FENCE WITH STEEL TEE POSTS OR ORANGE CONSTRUCTION BARRICADE FENCE. PRIOR TO CONSTRUCTION, TREE PROTECTION FENCE INSTALLATION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND GOVERNING AUTHORITY IF REQUIRED.
- ANY GRADING OR EXCAVATION WITHIN THE PROTECTED ROOT ZONE SHALL BE ACCOMPLISHED BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE DAMAGE.
- ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF EARTHWORK OPERATIONS WILL DELAY THE PLACEMENT OF BACKFILL, THE ROOTS SHALL BE TEMPORARILY COVERED WITH MULCH AND WATERED UNTIL BACKFILL OPERATIONS CAN BE ACCOMPLISHED.
- DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
- WHEN GRADING OR TRENCHING OPERATIONS ARE REQUIRED WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, THE ROOTS SHALL NOT BE CUT USING A "DITCH IN DITCH" OR SIMILAR EQUIPMENT TO PROVIDE A CLEAN CUT AT THE LIMIT OF DISTURBANCE PRIOR TO USE OF OTHER GRADING MACHINERY. ONCE THE ROOTS HAVE BEEN CUT AS NOTED ALL EQUIPMENT SHALL BE RESTRICTED FROM ENTERING THE AREA BETWEEN THE CUT LINE AND TREE TRUNK. TRENCHES SHALL BE BACKFILLED AND TAMPED TO MINIMIZE SETTLEMENT.
- BARRICADES SHALL BE INSTALLED WITHIN THE LIMITS OF PROPOSED PAVEMENTS WHEN EXTENDING UNDER THE DRIP LINE OF TREES TO BE PRESERVED UNTIL OPERATIONS TO CONSTRUCT THE PAVED AREAS ARE INITIATED. THEN THE BARRICADES CAN BE RELOCATED TO PROVIDE THE MINIMUM AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED WORK AND SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
- PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION DURING PERIODS OF DROUGHT EXCEEDING SEVEN DAYS. EVENLY DISTRIBUTE WATER OVER THE ENTIRE ROOT ZONE.
- ROOT ZONE AREAS OF TREES THAT HAVE BEEN COMPAKED DUE TO CONSTRUCTION ACTIVITIES SHALL BE AERATED AT THE DIRECTION OF A QUALIFIED ARBORIST.
- HOSE DOWN FOLIAGE OF SPECIMEN TREES SUBJECT TO HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE GRASS TO LESS THAN 12" IN HEIGHT WITHIN THE AREAS OF TREE PROTECTION DURING THE CONSTRUCTION PERIOD. DO NOT USE HERBICIDES TO CONTROL VEGETATION WITHIN THE TREE PROTECTION AREA.
- REMOVAL OF TREE PROTECTION FENCING SHALL NOT OCCUR UNTIL APPROVED BY THE GOVERNING AUTHORITY WHERE REQUIRED, OR THE OWNER'S REPRESENTATIVE. ALL REMNANTS OF THE FENCING SHALL BE REMOVED AND RESTORATION OF THE AREAS SHALL BE COMPLETED.

EROSION CONTROL NOTES

- EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT.
- EPSC MEASURES SHALL BE INSTALLED AND INSPECTED BY LOCAL OFFICIALS (IF REQUIRED) PRIOR TO BEGINNING EARTH MOVING OPERATIONS. EPSC MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- LOCATION OF DIVERSION DITCHES, SILT FENCE, AND OTHER MEASURES MAY BE SLIGHTLY ADJUSTED IN THE FIELD TO AVOID TREES AND OTHER EXISTING FEATURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PROVIDE THE CERTIFIED EROSION CONTROL INSPECTOR AND MAINTAIN THE MAINTENANCE OF THE EPSC MEASURES. IF THE IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SOURCE MATERIAL.
- AS THE WORK PROGRESSES THE LOCATION AND TYPE OF MEASURES MAY REQUIRE ADJUSTMENTS. TEMPORARY MEASURES MAY BE REQUIRED IN CERTAIN AREAS THAT CAN BE REMOVED DURING THE WORK DAY AND RE-ESTABLISHED WHEN WORK CEASES FOR THE DAY OR PRIOR TO A DAYTIME RAIN EVENT.
- SEDIMENT SHALL BE REMOVED FROM EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WHEN THE DESIGN CAPACITIES HAVE BEEN REDUCED BY 50% OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY. PROPERLY DISPOSE OF ACCUMULATED SEDIMENT.
- THE CONTRACTOR SHALL PROVIDE A RAIN GAUGE AT THE SITE AND DOCUMENT RAINFALL EVENTS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MAINTAIN THE FOLLOWING RECORDS AT THE SITE: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE; DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS; AND RAINFALL EVENTS.
- EXISTING SITE VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND SHALL NOT BE REMOVED MORE THAN 10 DAYS PRIOR TO THE DATE AT WHICH EARTH MOVING OPERATIONS ARE TO BEGIN UNLESS TEMPORARY COVER IS INSTALLED. DO NOT REMOVE VEGETATION OR TREES UNLESS NECESSARY FOR GRADING OR OTHER PROJECT PURPOSES.
- THE CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE LENGTH OF TIME SITE SOILS ARE EXPOSED TO EROSION. PROVIDE TEMPORARY COVER AS NECESSARY.
- EPSC MEASURES SHALL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED AND WHEN DEEMED NO LONGER NEEDED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY.

AS-BUILT REQUIREMENTS

- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED SURVEYOR IN THE STATE OF NEW HAMPSHIRE TO PROVIDE AS-BUILT SURVEY DATA FOR PUBLIC UTILITIES AND PUBLIC/PRIVATE STORMWATER MANAGEMENT INFRASTRUCTURE.
- AS-BUILT SURVEYS FOR STORMWATER INFRASTRUCTURE SHOULD PROVIDE THE FOLLOWING ITEMS, AT A MINIMUM:
 - SPOT ELEVATIONS OF THE EXCAVATED BIERTENTIONAL AND/OR PERMEABLE PAVEMENT SUBGRADE PRIOR TO BACKFILLING WITH SPECIALTY SOIL AND GRAVEL LAYERS.
 - SPOT ELEVATIONS OF SUBGRADE FOR UNDERGROUND DETENTION SYSTEMS.
 - SPOT ELEVATIONS AND CONTOUR ELEVATIONS NOT TO EXCEED 1' MAX. INTERVAL FOR ALL PERMANENT STORMWATER QUALITY AREAS, DETENTION PONDS, AND ASSOCIATED EMBANKMENTS TO ENSURE PROPER SIZING OF THESE FEATURES.
 - SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL STORMWATER PIPES AND STRUCTURES WITHIN THE PUBLIC RIGHT OF WAY.
 - SIZE, MATERIAL, ELEVATION INFORMATION FOR ALL PRIVATE STORMWATER QUALITY FEATURES, DETENTION STRUCTURES AND INFRASTRUCTURE DOWNSTREAM OF THESE FEATURES.
 - DETAILED INFORMATION FOR ALL OUTLET CONTROL STRUCTURES WITHIN DETENTION PONDS, WATER QUALITY FEATURES, OR UNDERGROUND DETENTION SYSTEMS, INCLUDING ELEVATION AND SIZE INFORMATION FOR ORIFICES, PERFORATED RISERS, WEIRS, TOP OF CASTING, AND INVERTS ASSOCIATED WITH THE STRUCTURE.
 - ALL OTHER AS-BUILT INFORMATION REQUIRED BY THE JURISDICTIONAL AUTHORITY OR NOTED ELSEWHERE IN THE PLANS.
- THE CONTRACTOR SHALL REVIEW LOCAL AUTHORITY'S AS-BUILT REQUIREMENTS AND/OR CONTACT ENGINEER TO CONFIRM AS-BUILT INFORMATION. PHOTOGRAPHIC EVIDENCE OF PROPER INSTALLATION OF STORMWATER MANAGEMENT AND WATER QUALITY INFRASTRUCTURE AND/OR VIDEO INSPECTIONS OF STORMWATER PIPES MAY BE REQUIRED. THE CONTRACTOR SHALL CAPTURE AND RETAIN PHOTOGRAPHIC DOCUMENTATION OF KEY INSTALLATION MILESTONES AS NEEDED. FAILURE TO PROVIDE NECESSARY PHOTOGRAPHIC DOCUMENTATION PRIOR TO BACKFILLING MAY CAUSE DELAYS AND MAY REQUIRE SITE INVESTIGATION THAT COULD INCLUDE RE-EXCAVATION OF COMPLETED INFRASTRUCTURE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RETAIN AND PROVIDE RECEIPTS FOR ANY FABRICATED STORMWATER MANAGEMENT INFRASTRUCTURE SUCH AS PROPRIETARY WATER QUALITY UNITS, UNDERGROUND DETENTION STRUCTURES, PERMEABLE PAVERS, OR SPECIALTY SOIL MEDIA (WITH APPLICABLE TESTING IF REQUIRED).
- REFER TO THE STANDARDS OF THE GOVERNING AUTHORITY OR UTILITY DISTRICT FOR AS-BUILT REQUIREMENTS FOR PUBLIC UTILITY INFRASTRUCTURE, INCLUDING METERS AND UTILITY TAPS, WHERE APPLICABLE. SUBMIT AS-BUILT DATA DIRECTLY TO THE LOCAL AUTHORITY AND/OR TO THE ENGINEER FOR REVIEW, AS APPLICABLE.

STORM SEWER NOTES

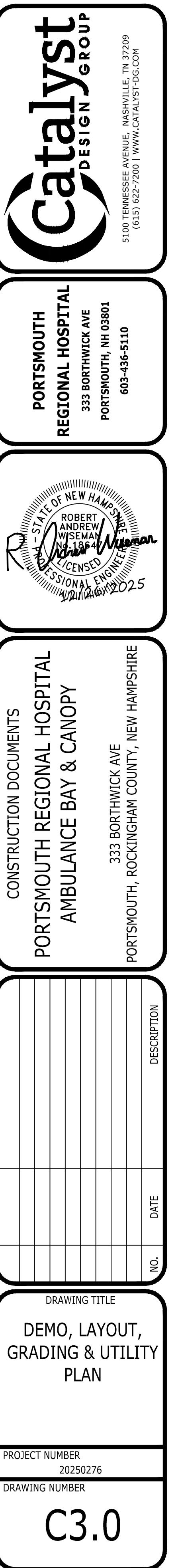
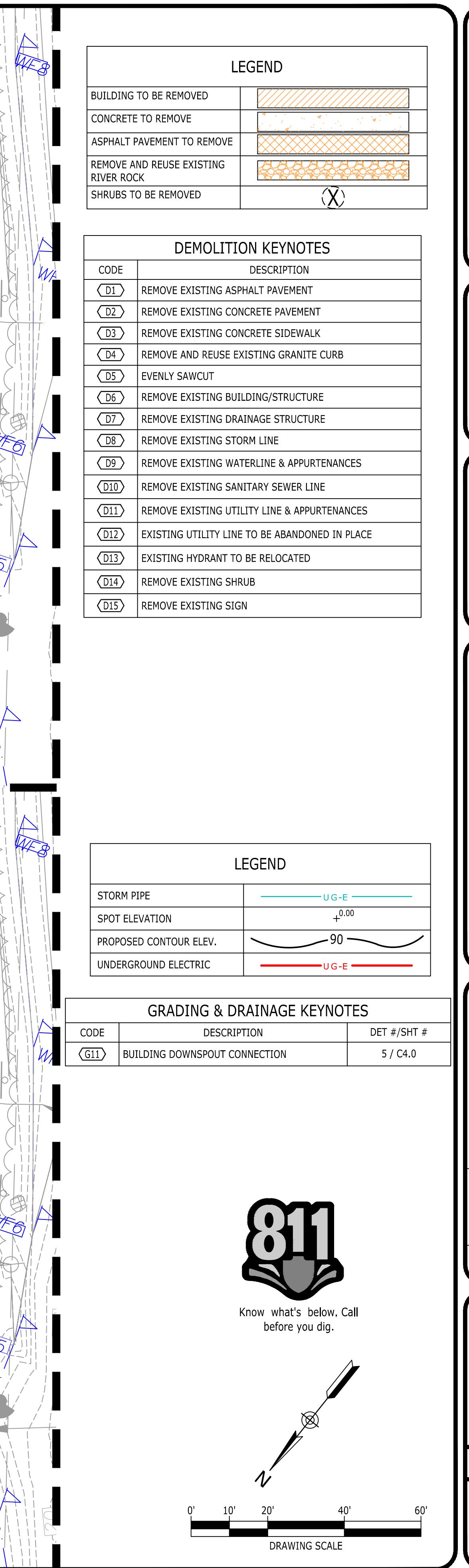
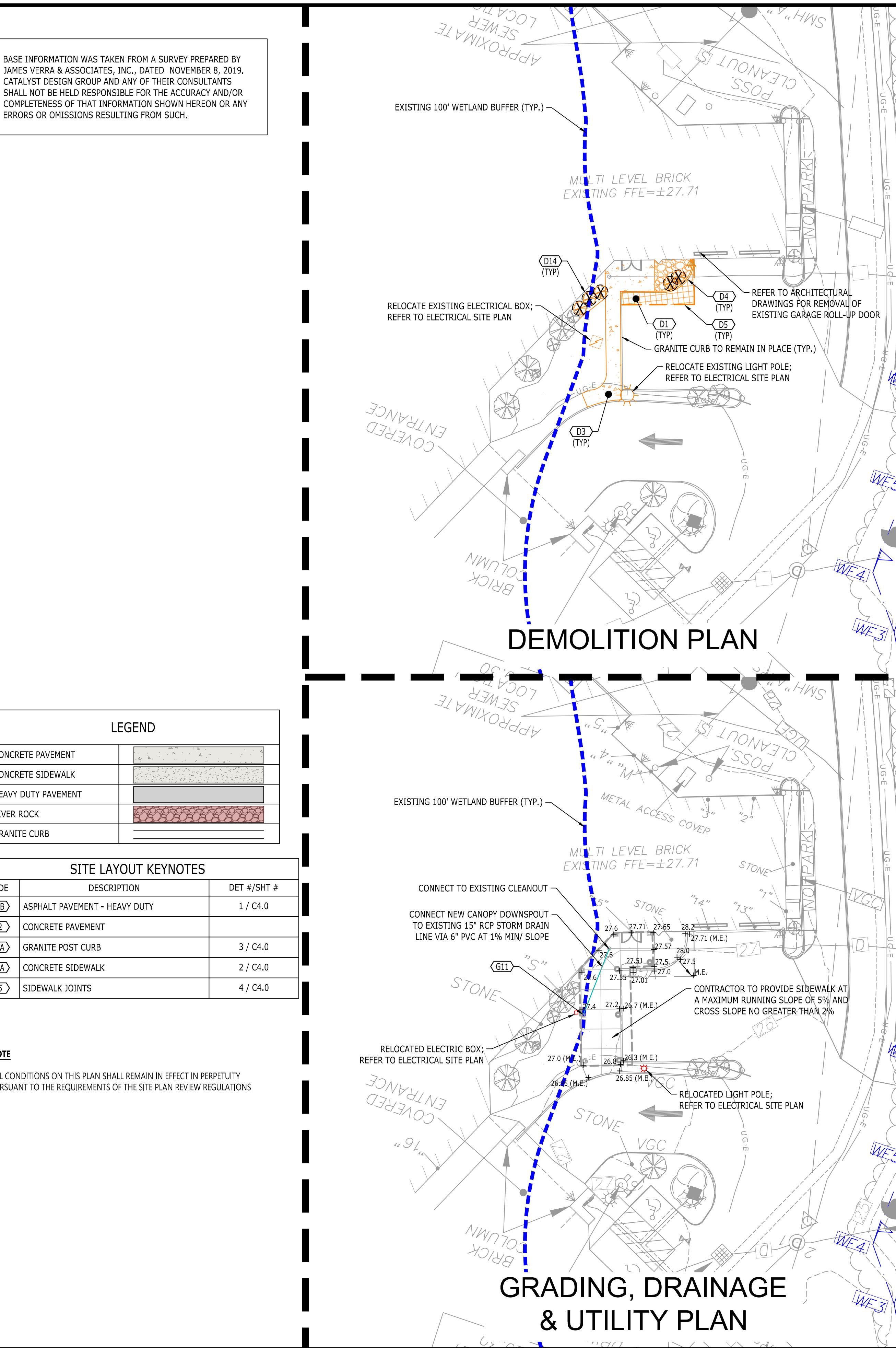
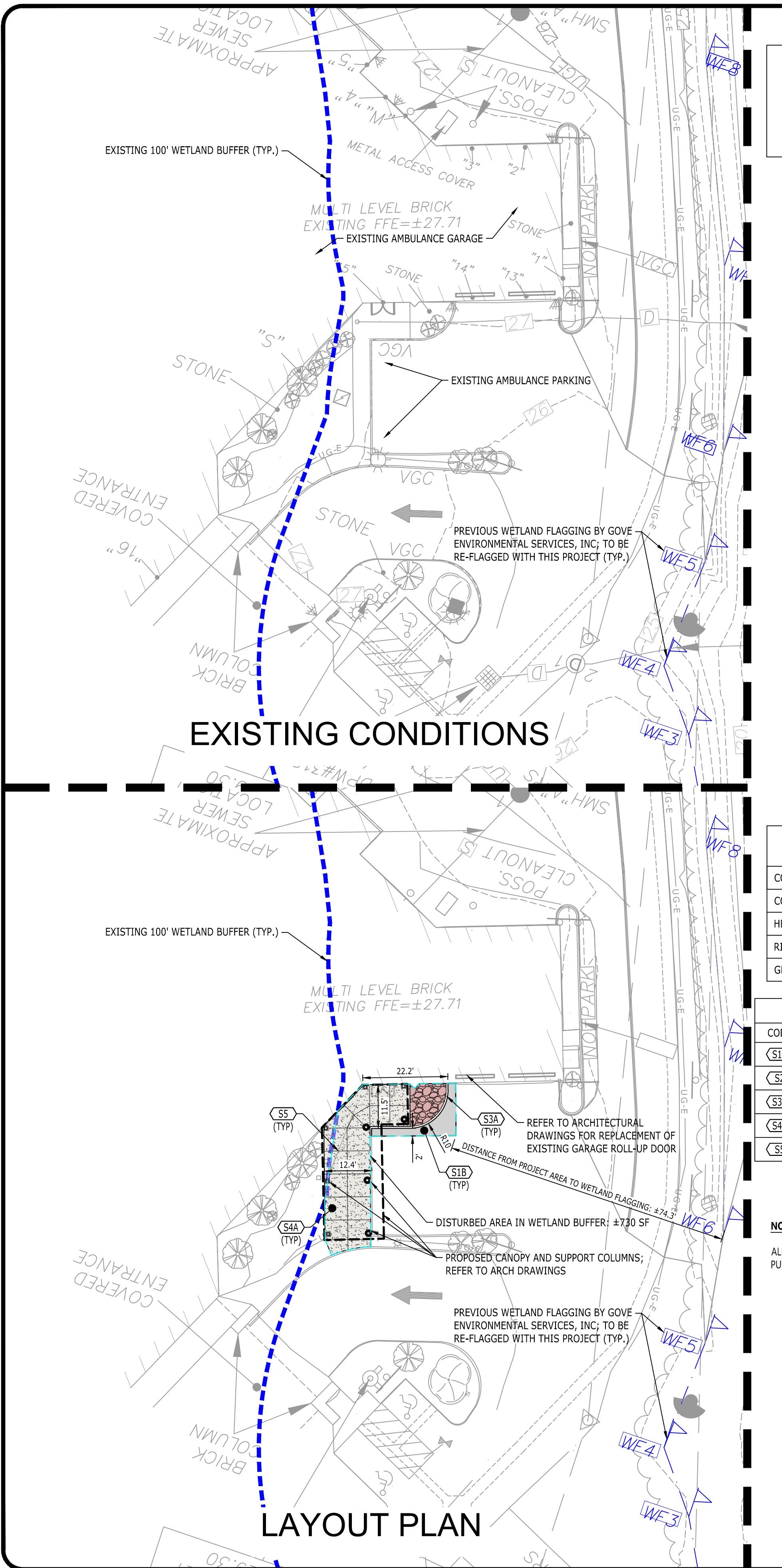
- PUBLIC STORMWATER PIPES, STRUCTURES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS. PRIVATE STORMWATER INFRASTRUCTURE SHALL BE CONSTRUCTED PER THE STANDARDS FOUND IN THESE PLANS AND SPECIFICATIONS. PROPRIETARY STORMWATER DETENTION AND WATER QUALITY FEATURES AND PLASTIC PIPES SHALL BE INSTALLED PER THE MANUFACTURER'S PUBLISHED GUIDANCE.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND FABRICATED DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.
- STORM SEWER PIPE MATERIALS:
 - REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, WALL TYPE 'B' CONFORMING TO ASTM C76 UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS OR MASTIC SEAL CONFORMING TO ASTM C990. RCP SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ASTM C1479.
 - CLASS IV RCP PIPE IS REQUIRED FOR FILL HEIGHTS OVER 13' OR WHERE NOTED BY THE ENGINEER.
 - HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR. HDPE PIPE SHALL CONFORM TO ASTM F2648 OR AASHTO M252/M294 WITH GASKETED SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM D2321.
 - HIGH-PERFORMANCE POLYPROPYLENE (HPP) PIPE SHALL BE DUAL-WALL WITH CORRUGATED EXTERIOR AND SMOOTH INTERIOR, CONFORMING TO ASTM F2881 AND AASHTO M330 WITH GASKETED SOIL TIGHT JOINTS CONFORMING TO ASTM F477. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM C2321.
 - POLYVINYL CHLORIDE PIPE (PVC) SHALL BE SDR 35 PER ASTM D3034. JOINTS SHALL BE ELASTOMERIC GASKETED, BELL AND SPIGOT, PUSH-ON TYPE PROVIDING A WATER TIGHT SEAL PER ASTM D3212. THERMOPLASTIC PIPING SHALL BE INSTALLED PER ASTM D2321.
- ALL PIPES SHALL BE INSTALLED AT A MINIMUM, WITH SOIL TIGHT JOINTS AND CONNECTIONS TO TERMINAL STRUCTURES. COMPLY WITH MANUFACTURER'S SPECIFICATIONS FOR WATER TIGHT INSTALLATIONS WHERE INDICATED ON DRAWINGS.
- PIPE BEDDING, BACKFILL, AND COMPAKATION REQUIREMENTS WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE DEPARTMENT OF TRANSPORTATION TRANSPORTATION DETAILS AND SPECIFICATIONS.
- PIPES UNDER EXISTING PAVEMENT AREAS SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE OR PER LOCAL AUTHORITY STANDARD REQUIREMENTS. PAVEMENT SECTIONS SHALL MEET OR EXCEED EXISTING CONDITIONS WITH A SMOOTH TRANSITION.

STORM SEWER STRUCTURE NOTES

- STORM INLETS AND MANHOLES SHALL BE PRECAST IN COMPLIANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS, AND MEET OR EXCEED SPECIFICATIONS OF ASTM C478 AND C913. STRUCTURES SHALL BE TRAFFIC RATED PER H-20 LOADING REQUIREMENTS.
- REFER TO STRUCTURE TABLE FOR CASTING FRAME AND GRATE TYPES. FRAMES AND GRATES TO BE PROVIDED IN ACCORDANCE WITH THE LOCAL/STATE JURISDICTIONAL AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PIPE CONNECTIONS TO STRUCTURES:
 - NON-SHRINK GROUT PER ASTM C1107.
 - WHERE REQUIRED, FLEXIBLE, WATERTIGHT GASKETS SHALL COMPLY WITH ASTM C923.
- FRAMES AND GRATES:
 - MATERIAL: GRAY IRON CLASS 35 PER ASTM A48 UNLESS OTHERWISE INDICATED.
- INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER PIPE DIAMETERS OR CASTING SIZES.
- DRAINAGE STRUCTURE SIZES SHOWN IN THE PLANS ARE SCHEMATIC IN NATURE AND MAY VARY BASED ON CONNECTING PIPE SIZES OR ANGLES. FINAL STRUCTURE SIZES WILL BE DETERMINED BY THE PRECASTER BASED ON NATIONAL CONCRETE PIPE ASSOCIATION (NCPA) STANDARDS OR THE MANUFACTURER'S REQUIREMENTS.
- TOP OF GRATE ELEVATIONS FOR DRAINAGE STRUCTURES SHALL BE PROVIDED PER THE DETAILS AND STRUCTURE TABLES.
- CONTRACTOR SHALL PLACE STRUCTURES BASED ON THE ACTUAL DIMENSIONS OF ORDERED STRUCTURES AND GRATES TO ALIGN WITH PROPOSED OR EXISTING CURB LINES. DRAINAGE STRUCTURES SHOULD NOT BE INSTALLED SOLELY BASED SOLELY ON STRUCTURE OR PIPE CENTERLINES.
- STORM SEWERS SHALL BE CONSTRUCTED STARTING AT THE DOWNSTREAM DISCHARGE OR CONNECTION POINT AND THEN WORKING UPSTREAM. IN EXCEPTIONAL CASES WHERE SITE CONDITIONS OR SCHEDULE CONSTRAINTS REQUIRE CONSTRUCTION IN A DIFFERENT ORDER, THE CONTRACTOR SHALL TAKE SPECIAL CARE TO CONFIRM THAT THE ELEVATION OF THE DOWNSTREAM DISCHARGE OR CONNECTION CONFORMS TO THE PLANS AND THAT MINIMUM SLOPES CAN BE ACHIEVED.
- COORDINATE THE LOCATION OF SITE DRAINAGE SYSTEMS WITH THE BUILDING ARCHITECTURE AND PLUMBING PLANS FOR COLLECTION OF ROOF DRAINS AND DOWNSPOUTS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ADJUST THE CASTINGS OF ALL EXISTING AND NEW STRUCTURES TO MATCH PROPOSED FINISH GRADE, ENSURING POSITIVE DRAINAGE IS MAINTAINED. SLOPE TOPS OF CASTINGS TO MATCH SLOPES OF SURROUNDING PAVEMENTS AND CURBS.

SITE UTILITY NOTES

- THE CONTRACTOR SHALL REQUEST UTILITY LOCATIONS (811) AND VERIFY LOCATIONS OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE IF DAMAGED. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS OF EACH UTILITY AND VERIFY THE SCOPE OF INSTALLATIONS OR RELOCATIONS THAT WILL BE REQUIRED AND THE IMPACT EACH COULD HAVE ON THE PROJECT SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF INSTALLATION OF UTILITIES TO AVOID CONFLICTING HORIZONTAL AND VERTICAL LOCATIONS.
- ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE TO THE GOVERNING AUTHORITY'S REQUIREMENTS AND SPECIFICATIONS. LIKEWISE, IF THE GOVERNING AUTHORITY HAS MATERIAL REQUIREMENTS FOR PRIVATE (SITE) UTILITIES, CONSTRUCT SITE UTILITIES IN ACCORDANCE WITH APPLICABLE PUBLIC UTILITY SPECIFICATIONS. OTHERWISE, THE FOLLOWING MINIMUM STANDARDS SHALL BE MET:
 - PRIVATE GRAVITY SANITARY SEWER MATERIALS:
 - POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE SDR 35 PER ASTM D3034.
 - JOINTS: ELASTOMERIC GASKETED, BELL AND SPIGOT, PUSH-ON TYPE PROVIDING A WATER TIGHT SEAL PER ASTM D3212.
 - DUCTILE IRON PIPE (DIP) SHALL BE PRESSURE CLASS 350 COMPLYING WITH AWWA C150/C151.
 - JOINTS AND FITTINGS: PUSH-ON JOINTS CONFORMING TO AWWA C110/C111. SAME LINING AND COATING AS CONNECTING PIPES.
 - LINING AND COATING: INTERIOR LINING CONFORMING TO LOCAL UTILITY SPECIFICATIONS FOR DUCTILE IRON GRAVITY SEWERS, OR APPROVED EQUAL. ASPHALTIC EXTERIOR COATINGS CONFORMING TO AWWA C151.
 - PRIVATE POTABLE WATER MATERIALS:
 - POLYVINYL CHLORIDE PIPE (PVC) LESS THAN 4" SHALL BE SCHEDULE 40 PVC PIPE PER ASTM D1785.
 - JOINTS AND FITTINGS: SOLVENT CEMENTED JOINTS PER ASTM D2885. PVC FITTINGS PER ASTM D2466.
 - POLYVINYL CHLORIDE PIPE (PVC) 4" AND GREATER SHALL BE AWWA C900

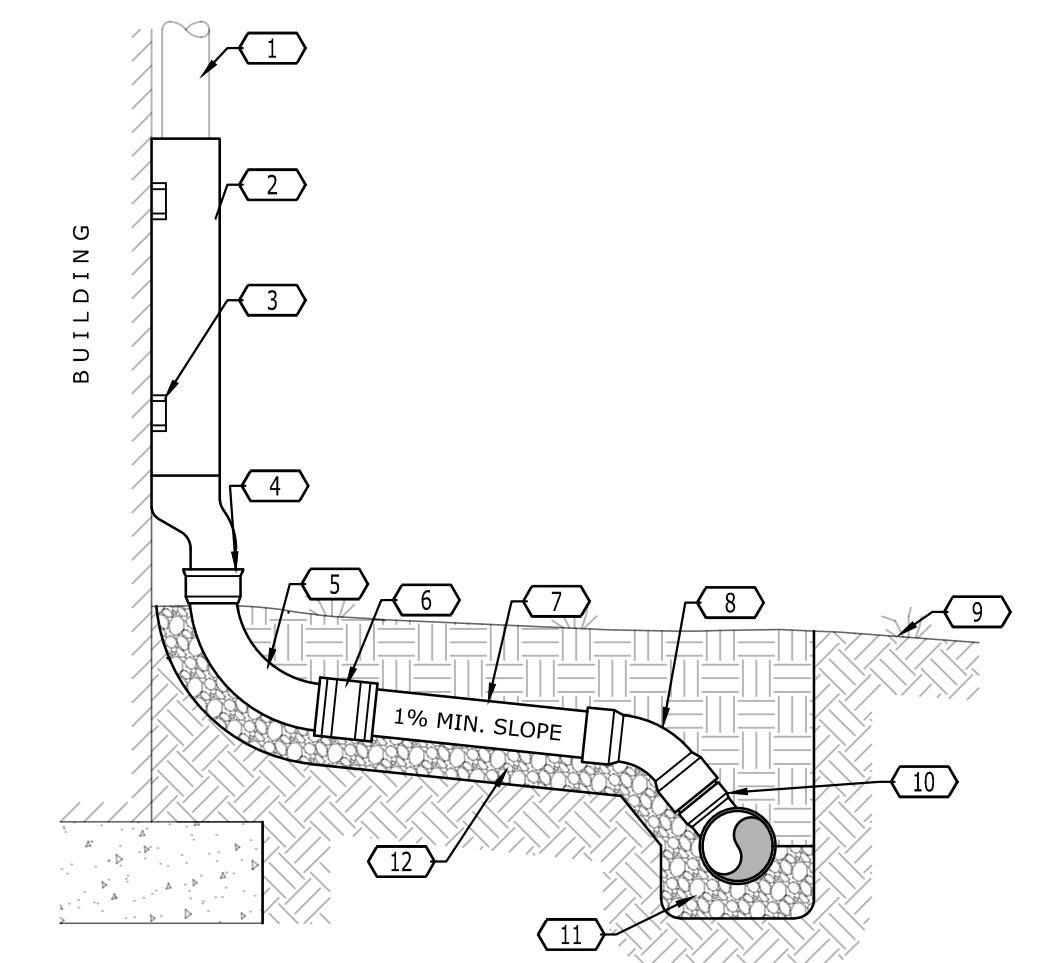


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RESERVED

NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	DOWNSPOUT
2	CAST IRON DOWNSPOUT SHOE NEENAH R-4929-012 OR APPROVED EQUAL, WITH ADAPTER IF REQUIRED.
3	BOLT DOWNSPOUT SHOE TO BUILDING
4	MAKE JOINT WITH OAKUM AND HOT LEAD. CONCRETE WILL NOT BE ALLOWED.
5	6" CAST IRON BEND
6	6" NEOPRENE COMPRESSION CONNECTOR
7	6" PVC ROOF LEADER
8	6" PVC 1/8 BEND
9	FINISH GRADE
10	SANITARY WYE IN EXIST. STORM LINE
11	CAREFULLY AND THOROUGHLY COMPACT PIPE BEDDING UNDER FITTING
12	PIPE BEDDING



8

RESERVED

NOT TO SCALE

5

DOWNSPOUT COLLECTOR

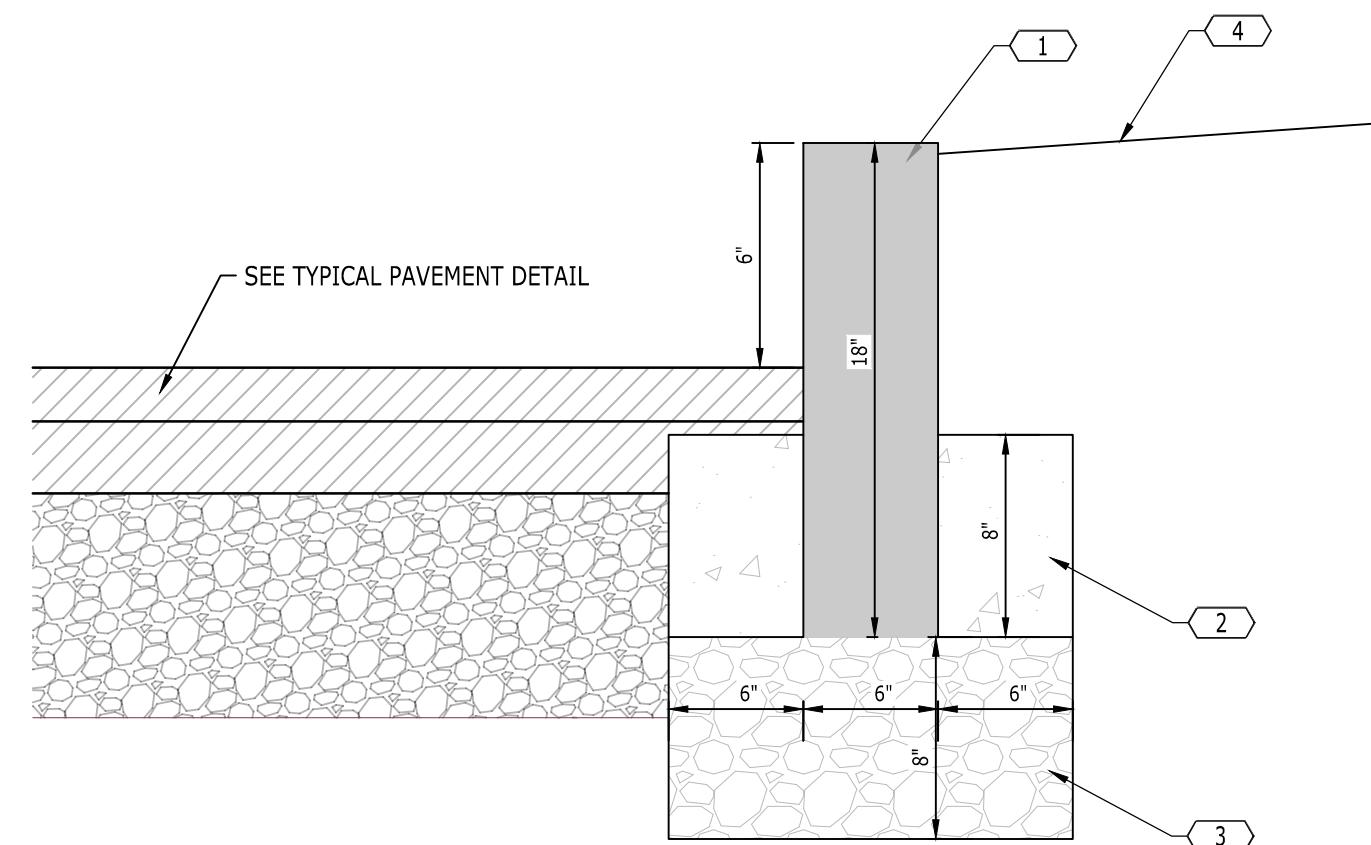
NOT TO SCALE

3 6" VERTICAL GRANITE CURB @ PAVEMENT

NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	VERTICAL GRANITE CURB WITH 6" REVEAL
2	3,000 PSI (MIN) CONCRETE FULL LENGTH EACH SIDE
3	3/4" CRUSHED STONE
4	PROPOSED FINISH GRADE (REFER TO GRADING PLAN)

CURB RADIUS TABLE	
RADIUS	MAX LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'



NOTE:
 1. ADJOINING STONES SHALL HAVE THE SAME LENGTH.
 2. JOINTS BETWEEN STONES SHALL HAVE A MAX SPACING OF 1/2" AND SHALL BE MORTARED.

9

RESERVED

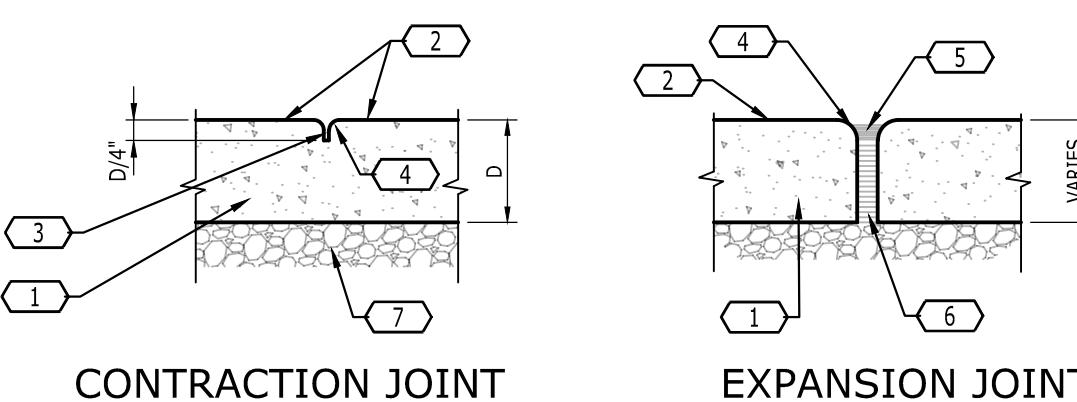
NOT TO SCALE

6

RESERVED

NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	CONCRETE SIDEWALK
2	BROOM FINISH
3	1/4" HAND-GROOVED JOINT
4	TOOLED EDGE; 1/4" RADIUS (TYP.)
5	1/4" DEPTH POLYURETHANE SEALANT (SIKAFLEX 2C-SL); RECESS 1/4" FROM SURFACE.
6	1/4" PREMOLDED EXPANSION JOINT MATERIAL
7	MINERAL AGGREGATE BASE (TYP.)



4

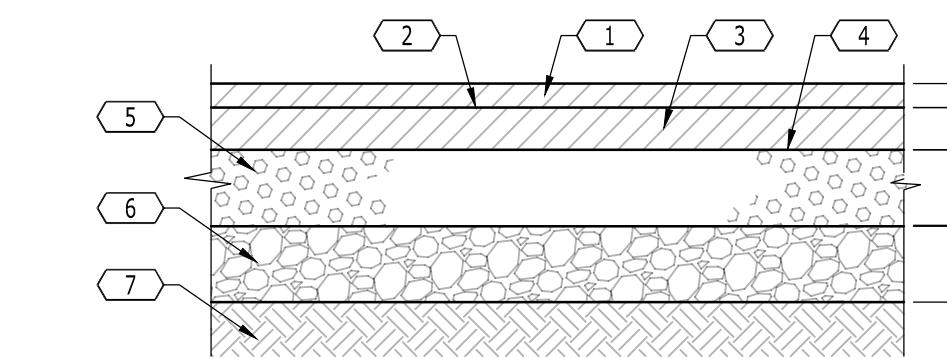
SIDEWALK JOINTS

NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	ASPHALTIC WEARING COURSE
2	TACK COAT AT 0.10 GAL./S.Y.
3	ASPHALTIC BINDER COURSE
4	PRIME COAT AT 0.30 GAL./S.Y.
5	CRUSHED GRAVEL BASE (NHDOT ITEM NO 304.3)
6	GRAVEL BORROW SUBBASE (NHDOT ITEM NO 304.2)
7	STABLE/COMPACTED SUBGRADE

NOTE:

1. FOR REPAIR OR REPLACEMENT OF EXISTING PAVEMENTS, USE THE PAVEMENT SECTIONS SHOWN OR MATCH THE EXISTING SECTION, WHICHEVER IS GREATER.
2. PAVEMENT SECTION PER GEOTECH ENGINEER REPORT PREPARED BY HALEY & ALDRICH, INC., DATED APRIL 2022. FINAL PAVEMENT SECTION TO BE DETERMINED BY ON SITE GEOTECH BASED UPON EXISTING SOIL CONDITIONS.
3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH NH-DOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.



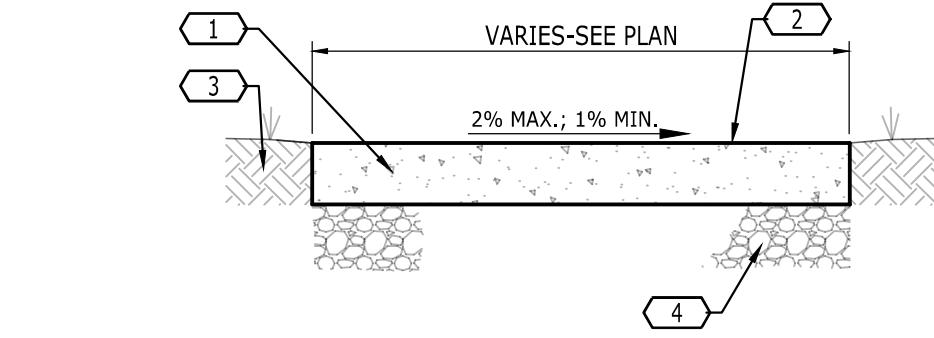
HEAVY DUTY PAVEMENT

NOT TO SCALE

1 ASPHALT PAVEMENT

NOT TO SCALE

KEYNOTES	
CODE	DESCRIPTION
1	3500 PSI CONCRETE, 4" THICK WITH FIBERFORCE 350 FIBER REINFORCEMENT AT A DOSING RATE OF 1.0 LBS/CY.; BROOM FINISH; CROSS SLOPE 2% MAX., 1% MIN.
2	PROVIDE CONTRACTION AND EXPANSION JOINTS AT SPECIFIED INTERVALS. SEE SIDEWALK JOINTING DETAILS AND PROJECT SPECIFICATIONS.
3	TOPSOIL; PLACE WITHIN 1/2" OF WALKWAY SURFACE
4	6" COMPACTED CRUSHED GRAVEL (NHDOT 304.3)



2 CONCRETE SIDEWALK

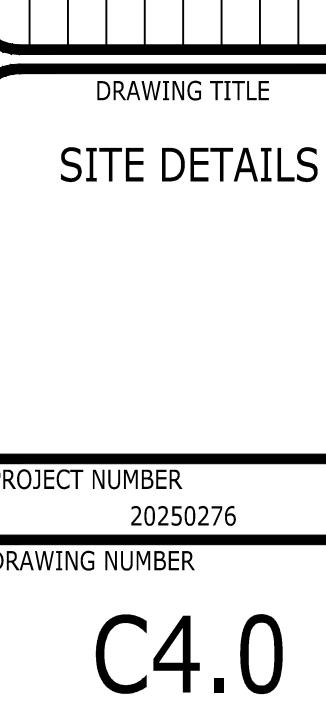
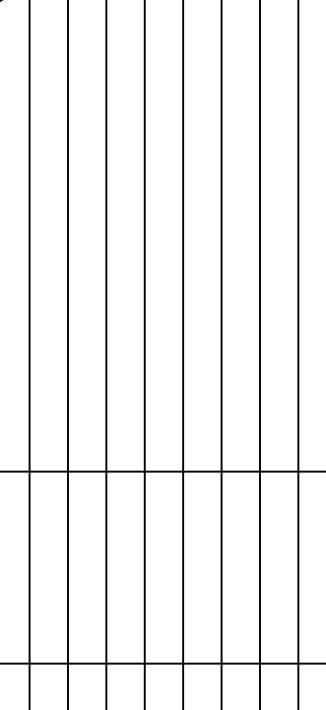
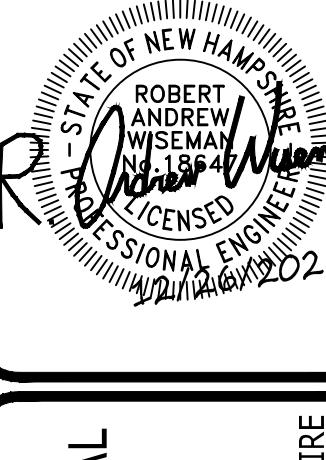
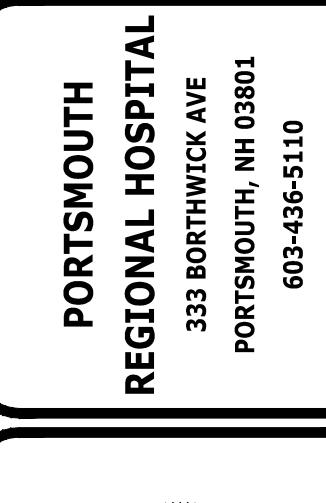
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NOTES:

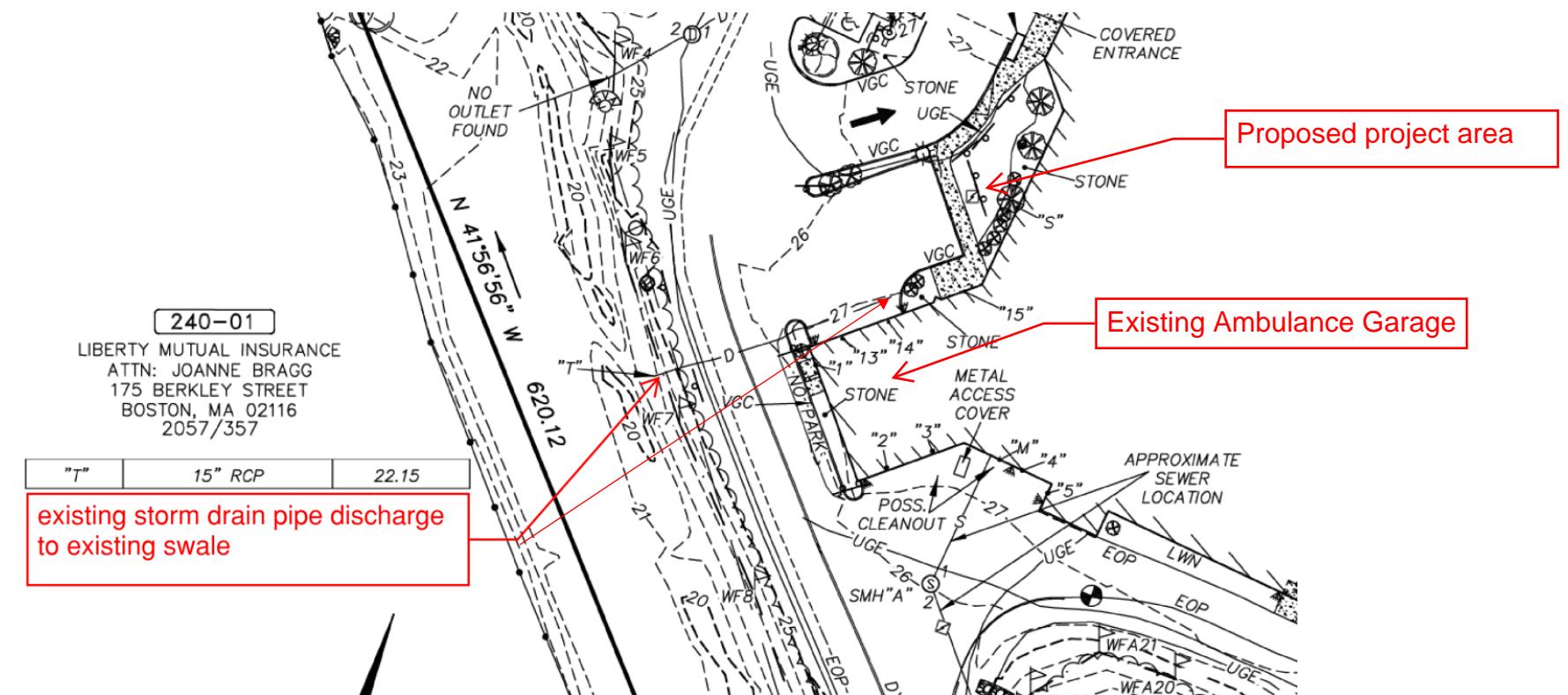
1. PROVIDE SIDEWALK JOINTS AS FOLLOWS:
 - 1.1. CONTRACTION (CONTROL) JOINTS
 - 1.1.1. AT 5' MAX. INTERVALS IN TRANSVERSE DIRECTION; ALONG LONGITUDINAL CENTERLINE OF THE SIDEWALK (FOR SIDEWALKS 6' OR WIDER); ALIGNING WITH CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT OR CURB.
 - 1.2. EXPANSION JOINTS
 - 1.2.1. AT 25' MAX. INTERVALS;
 - 1.2.2. AT INTERFACE WITH BUILDINGS, FOUNDATIONS, OR RETAINING WALLS; BETWEEN SIDEWALK AND SEPARATE CONCRETE CURB;
 - 1.2.3. AT PERIMETER OF DRAINAGE OR UTILITY CASTINGS WITHIN OR ABUTTING THE SIDEWALK;
 - 1.2.4. AT INTERFACE WITH STAIRS, RAMPS, OR CURB RAMPS;
 - 1.2.5. AT INTERFACE WITH INTERSECTING CONCRETE SIDEWALKS;
 - 1.2.6. AT ANY OTHER RIGID OBSTRUCTION, OR AS DIRECTED BY THE ENGINEER; ALIGNING WITH EXPANSION JOINTS IN ADJOINING CONCRETE PAVEMENT OR CURB.
2. PROVIDE JOINTING AT INTERVALS AS NOTED HEREIN, ON THE PLANS, AND/OR IN THE SPECIFICATIONS. JOINTING INTERVALS MAY BE REDUCED BASED ON SITE GEOMETRY, LOCATION OF OBSTRUCTIONS, ALIGNMENT WITH CURB/SIDEWALK JOINTING, AND OTHER FACTORS. INDIVIDUAL PANELS SHALL NOT EXCEED A LENGTH-TO-WIDTH RATIO OF 1.5 TO 1.
3. SEALED JOINTS SHALL BE FREE FROM DUST AND DEBRIS PRIOR TO APPLYING SEALANT.
4. SUBMIT ALTERNATE SEALANT PRODUCTS TO THE ENGINEER FOR REVIEW PRIOR TO APPLICATION. EXPANSION JOINT CAPS (PLASTIC OR OTHERWISE) SHALL NOT BE CONSIDERED A SUBSTITUTE FOR ELASTOMERIC SEALANT.

4 SIDEWALK JOINTS

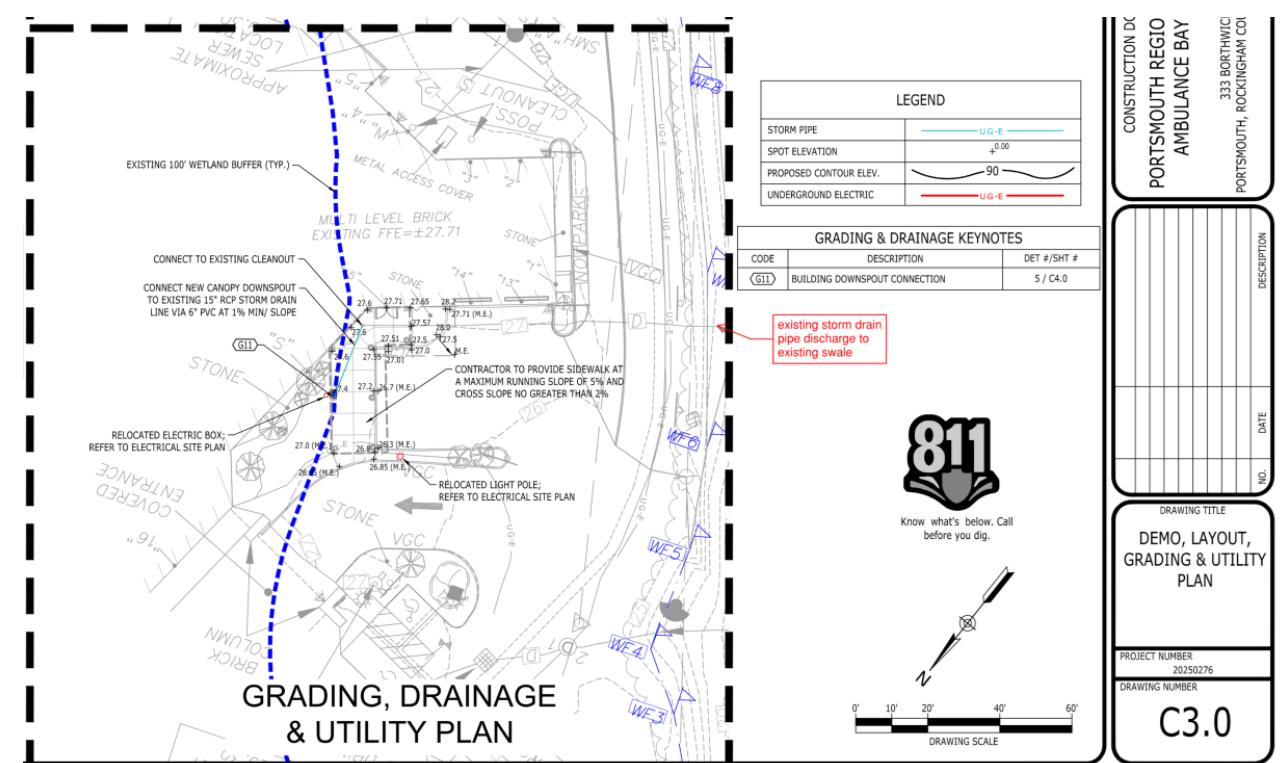
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from C1.0 Existing Conditions / Site Survey



from C3.0 Demo/Layout/ Grading/ Utility Plan



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PORTRIDGE REGIONAL HOSPITAL
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Drainage Exhibit